

# 2005 Cochecho Waterfront Design Charrette



# Cochecho Waterfront Development Advisory Committee

Citizen Advisory Group – x members

Redevelop 30 acre city-owned parcel



# *Vision*

The vision of the CWDAC is to provide a vibrant waterfront with public gathering places and access to the water, a place for people to live, meet, relax, encounter nature, conduct business and learn of Dover's past. The CWDAC also seeks to ensure that the social and economic benefits derived from a revitalized waterfront are shared by all of Dover's residents.



# *Goals*

The Dover Waterfront should provide an opportunity for redevelopment into a mixed-use environment that recognizes its unique situation on the Cochecho River and with adjacent residential, business, recreational and open space uses. The purpose of this redevelopment should be to:

# *Study Area*



# History

- Site Description
- Numerous studies
- Public and Private Investments
- Previous Charrette Design Concepts

# Preferred Charrette Concept 2005

## ○ Key Elements

- Creation of public gathering spaces
- Construction of vehicular bridge
- Study discontinuation of River Street
- Continuation of Riverwalk
- Provide opportunities for public/private boating facilities
- Development of mixed use structures

# Preferred Charrette Concept 2005 continued

- Incorporate the former County Administration building
- Construction of inn or function center
- Development of housing clusters where appropriate
- Relocation of pedestrian bridge
- Redevelopment of properties along Portland, Main, Water, Washington and Cochecho Streets consistent with waterfront and downtown



# Preferred Charrette Concept 2005 continued

- Encourage the creation of a walkway on westerly shore of river to connect 1 Washington Center to existing marina
- Provide increased parking facilities as appropriate
- Development of walking paths throughout the property

# Design Guidelines - Purposes

- To encourage mixed-use development as a scale compatible with existing surrounding uses
- To provide appropriate vehicular and pedestrian circulation that recognizes the unique historic and working waterfront environment of the site
- To provide opportunities that encourage visitors and tourists to experience the waterfront area as a recreational, cultural and historic environment

# Design Guidelines – Purposes Continued

- To ensure orderly development of the waterfront that will enhance ongoing downtown revitalization and will augment the economic well-being of the City of Dover
- To conserve the natural environment through a strategy of protection, conservation and appropriate land management
- To provide opportunities for the public to safely engage the water surface itself

# Design Guidelines for Development

- Scale and Use
- Environmental Quality
- Circulation and Access
- Management of Development

## Design Guidelines – Scale and Use

New development should allow for the following types of year-round uses or activities:

- Recreation
- Museum/Cultural Center
- Restaurant
- Professional Offices
- Public meeting space
- Destination docking facilities or similar water-dependent use
- Automobile parking
- Open Space
- Scenic vistas

Evening and weekend activities encouraged



Ground floors should be considered for active uses such as restaurants, shops and other retail uses, especially when adjacent to public spaces

Buildings should be a  
mixture of two to  
four stories



Coverage, building height and footprint requirements may be modified

Density pattern of new development should complement current adjacent development and the unique historic waterfront environment

Incorporate a mixture of building types, footprints, architectural forms, materials and colors that are compatible with existing downtown built forms and reflect Dover's architectural heritage.





Incorporate the existing privately held historic structure (former County Administration building) within the new development

Ensure that development is compatible with adjacent City recreation area and green space and provides opportunities for waterfront recreational activities such as a community boat docking facility, a small boat launch ramp and an outdoor public gathering space for cultural activities

All lighting and fences utilized within the site and along walkways shall be consistent with the style and height as installed along the existing Riverwalk in Henry Law Park.



The front of the buildings located adjacent to the river shall be no closer than 35 feet from the shoreline and no further than 100 feet unless the building is for a water dependent use. Building heights can vary and may increase as the building setback increases. Structures should have variable setbacks so as to create a staggered wall appearance and to provide spaces for public enjoyment and outdoor activities related to the structure. Greater or lesser setbacks will be considered depending on the use and provision for public access.

Locate new structures, landscape features or other uses so as to encourage opportunities for public use of the river from nearby public roads or spaces and upland area.

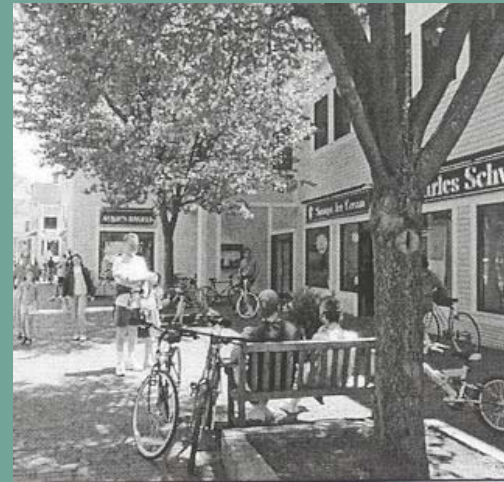


The layout of the structures within the site shall preserve views to the river to the greatest extent possible.

Length of contiguous structures shall be planned so as to establish and protect view corridors to the waterfront and to preserve pedestrian access routes from upland areas to the waterfront

All new development shall be integrated into the existing landscape where applicable so as to minimize its visual impact and enhance shoreline areas through the use of vegetative and structural screening, landscaping and grading.

Within the developable portions of the waterfront, there should be an appropriate intermingling of structures and impervious surfaces and landscaping.



# Environmental Quality

Recognize the transition from the “rural” river environment to an urban waterfront.

New landscaping should include strategic placement of native, non-invasive species to ensure that new development maintains and enhances the visual quality of the shoreline and overall waterfront site.



Employ environmentally-sound management practices during land development and long-term maintenance of the waterfront parcel. Conform to local, state, and federal permitting requirements.

## Circulation and Access

Incorporate a waterfront walkway of variable character in the area between the shoreline and building frontage. Where other uses may encroach upon this walkway, ensure provision of continuous pedestrian circulation along the waterfront.



Work with Dover Heritage Walk or similar organizations to place interpretive signage at appropriate locations along the riverwalk or in public spaces consistent with current historic markers/signage.

Ensure access to the river by activities such as lowering the seawall in certain locations and by providing public landing facilities for river excursion vessels, as well as tourist and recreational navigation.



Walkways should be of natural materials and consistent with the surrounding downtown (such as brick, cobblestones, granite etc) to the greatest extent possible.

All pedestrian walkways shall be separated from roadways by landscaped areas, where possible, or granite curbing, at a minimum.

Link waterfront environment with upland areas by establishing pedestrian routes.

- Off-street parking shall:
  - Be consistent with the City of Dover Zoning Ordinance
  - May be provided off-site within a reasonable walking distance
  - May be provided by the creation of a parking facility
  - Incorporate appropriate landscape features to break up expanse of pavement



Internal roadways should be designed in a curvilinear fashion in order to take advantage of existing topography and encourage low vehicle speeds.

Internal roadway pavement should not exceed 24' in width and shall maintain a park appearance. No parking shall be allowed on the primary circulation roadway.



# Management of Development

The CWDAC.. Shall be responsible for the review and approval of development proposals.

Any proposed development shall conform to the existing City of Dover site plan regulations for:

- Drainage and stormwater management
- Grading and erosion control
- Noise, vibration, odors and similar concerns,
- Natural resource protection.

- Waterfront Park / Landscaped Pedestrian Space
- Mixed Use
- Function Facilities
- Residential Use
- Corporate Office/Residential Use
- Parking Structure
- Water Access
- Public Landings
- Disposal Cell



March 2005

## BUBBLE DIAGRAM COCHECHO WATERFRONT DEVELOPMENT PROJECT

# Program for Implementation