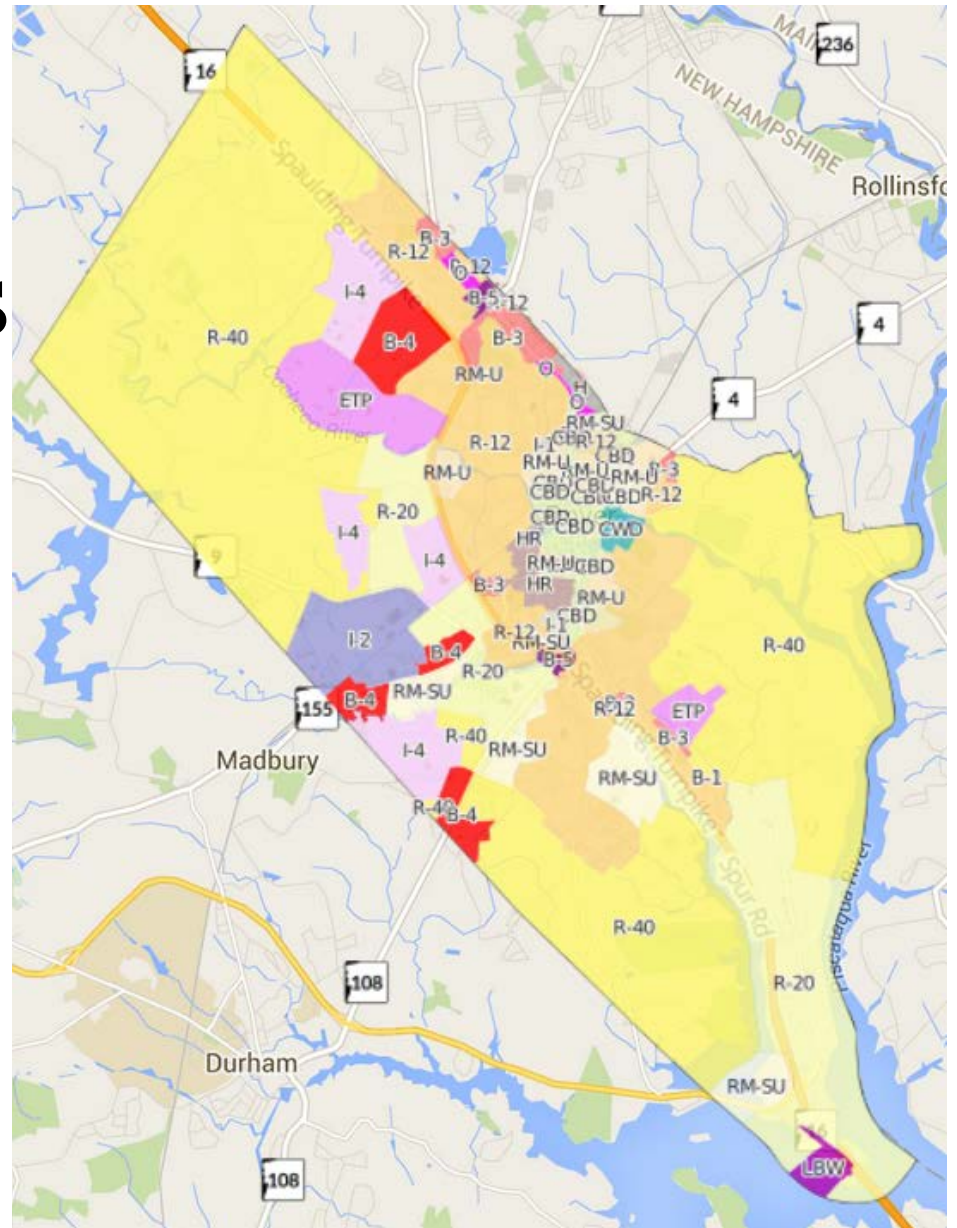


# Zoning Recommendations

Summary  
January 17, 2019



# How We Got Here:

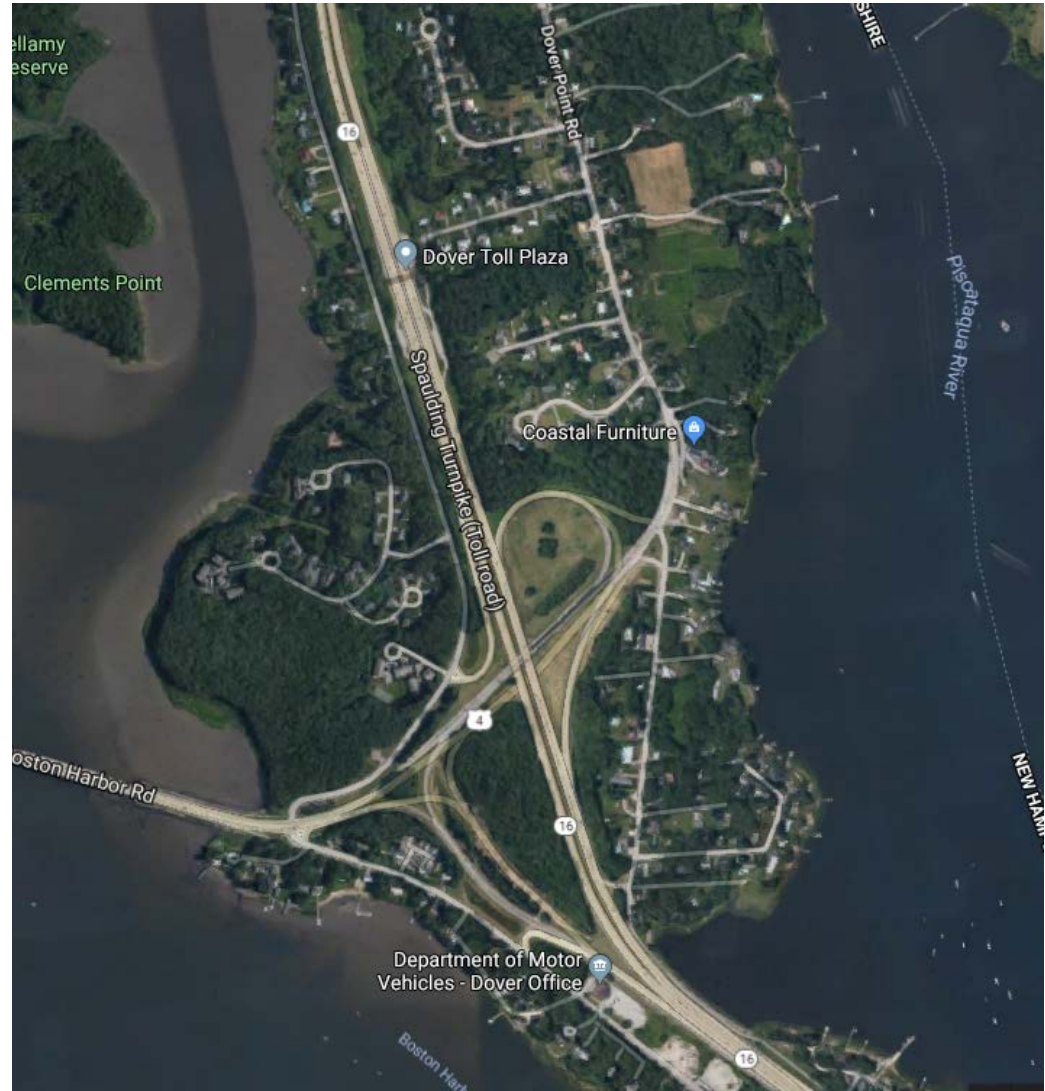
- PB Creation in February
- Reviewed goals
- Reviewed definitions
- Looked at City as a whole
- Reviewed Transportation Corridors:
  - Spaulding Turnpike
  - 108
  - 155
  - 9
  - Sixth Street
  - Dover Point/Middle Road

# General Recommendations

- “De-residentializing areas”
- Creating mixed use areas where higher density single family homes are located near commercial areas to create a balance between the need for affordable homes and increased commercial uses.
- Revising existing land uses in the commercial districts to ensure uses allowed are ones Dover wants.

# Spaulding Recommendations

- Exit 6
  - Add hospitality and dining options to encourage Mixed Use



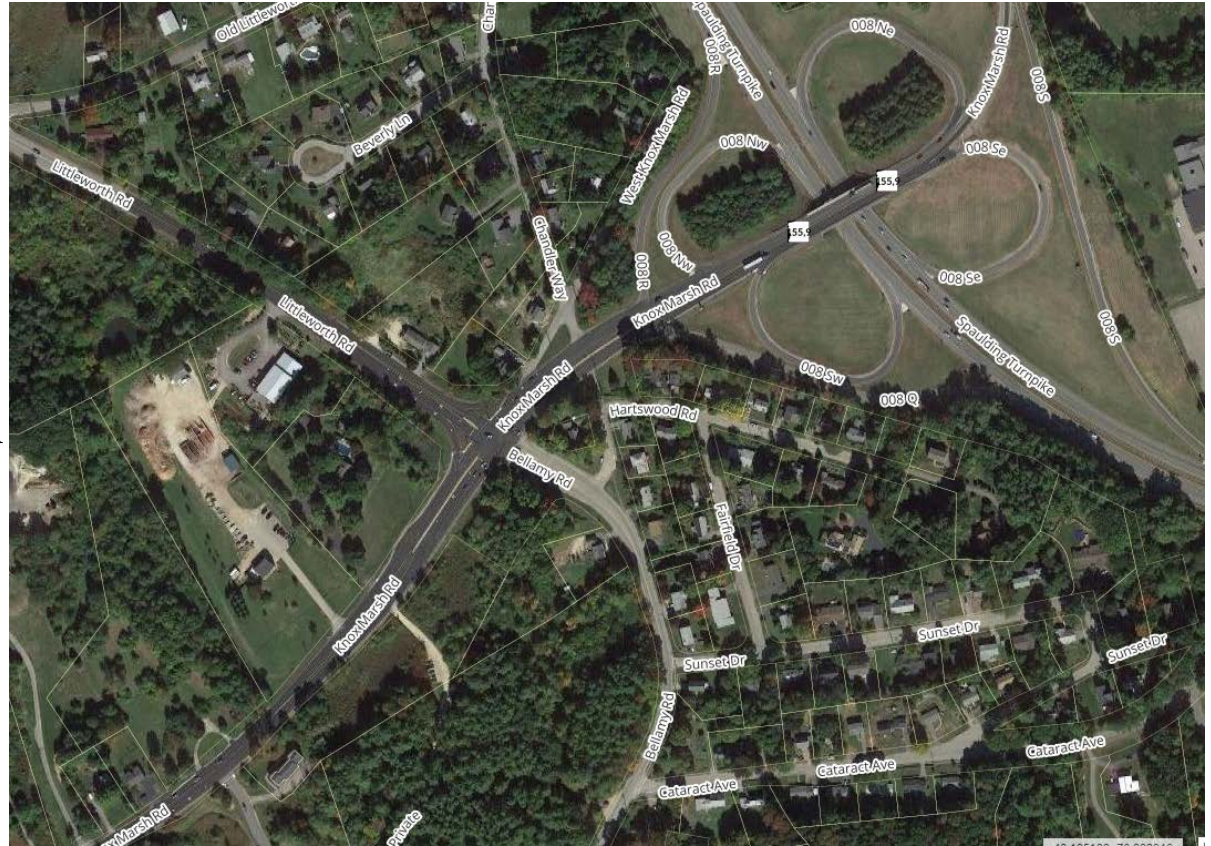
# Spaulding Recommendations

- Exit 7
  - Merge commercial zones/adjusting the existing R-12 and RM-U districts east of the Spaulding, to create a MU area



# Spaulding Recommendations

- Exit 8
  - Create a Mixed Use area at the intersection of Routes 9/155



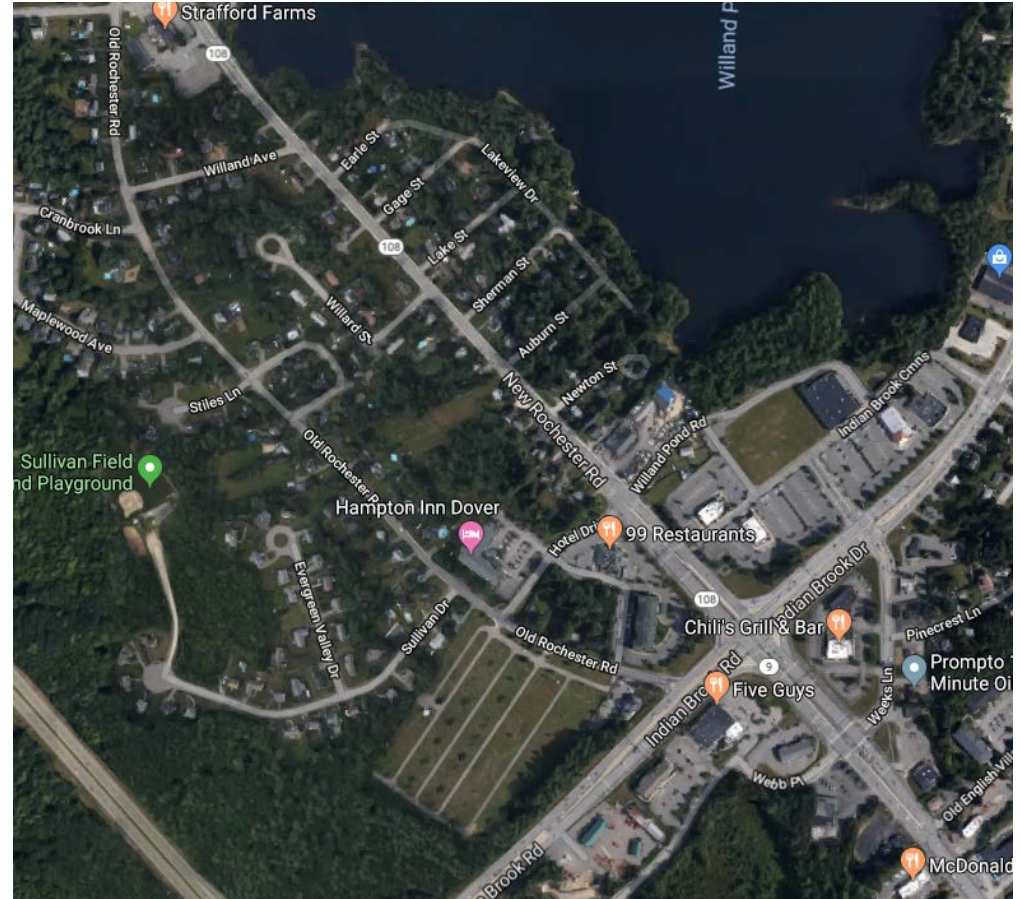
# Spaulding Recommendations

- Exit 9
  - Explore Commercial on both sides of Indian Brook Drive and review options for Glenwood and Sixth Street
  - Extend Sewer.



# 108 Recommendations

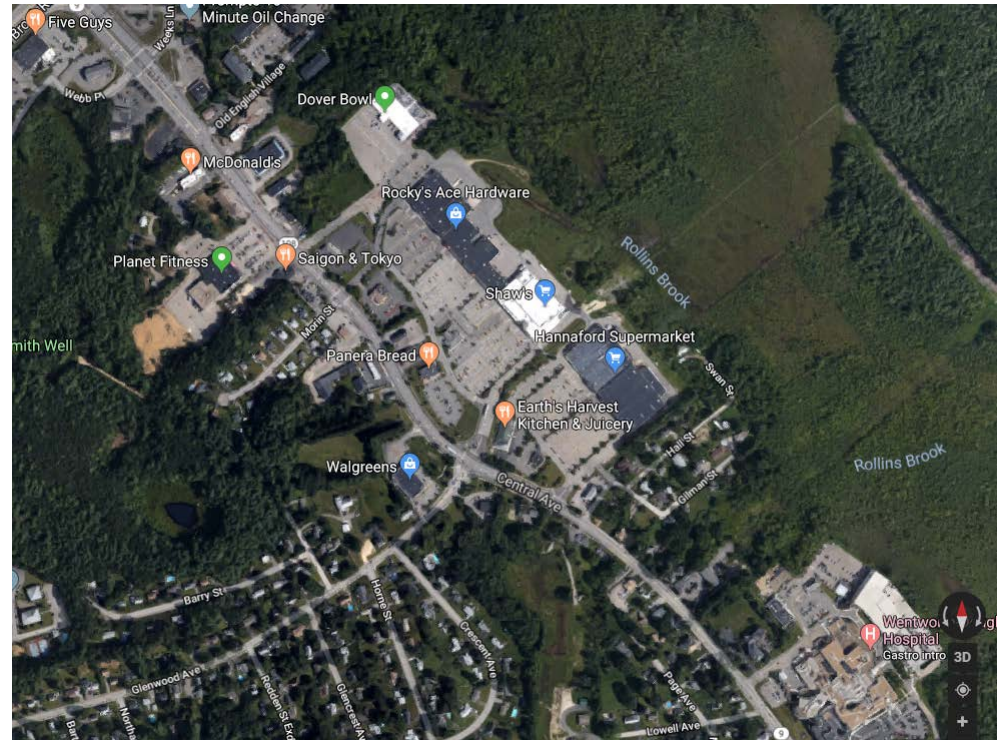
- North of Weeks Crossing
  - Office to B-1 zone
- Week's Crossing
  - Consider converting B-1 to B-3 zone





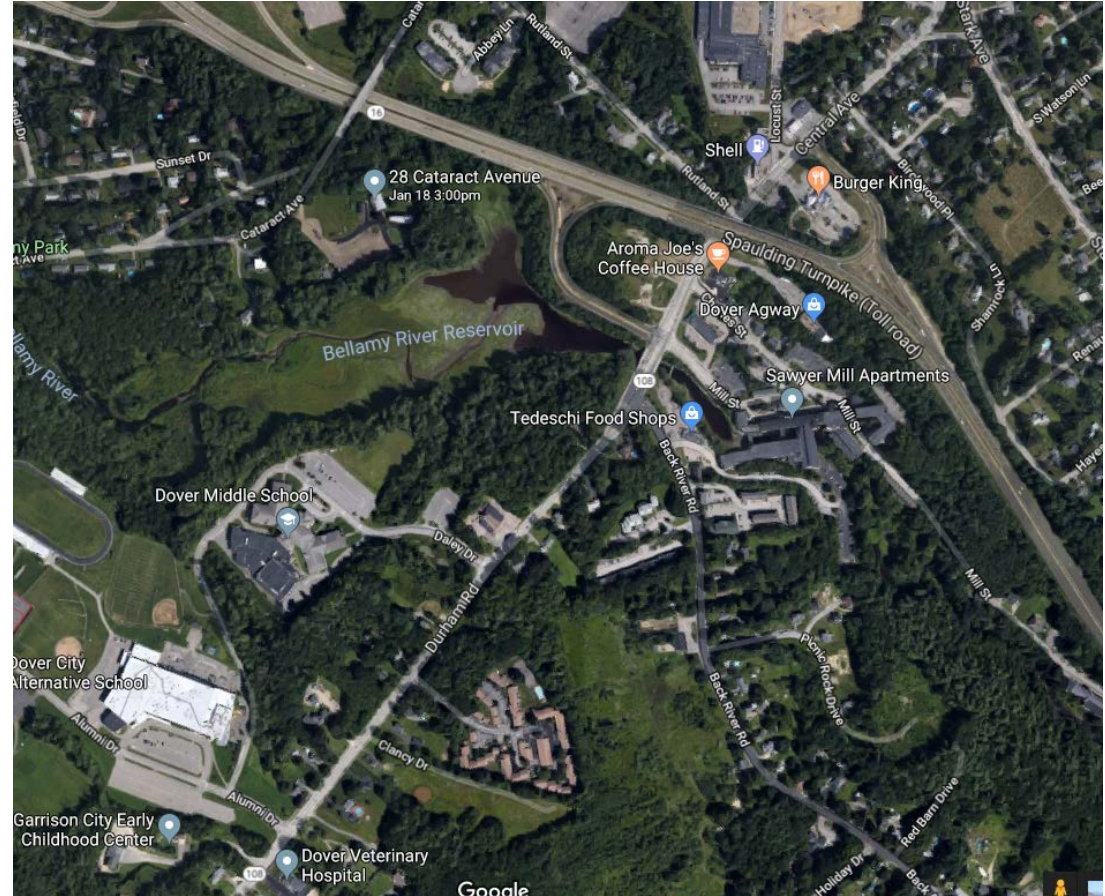
# 108 Recommendations

- South of Week's Crossing
  - Consider converting R-12 around Morin Street to B-3
- South of Merry Street
  - No Change



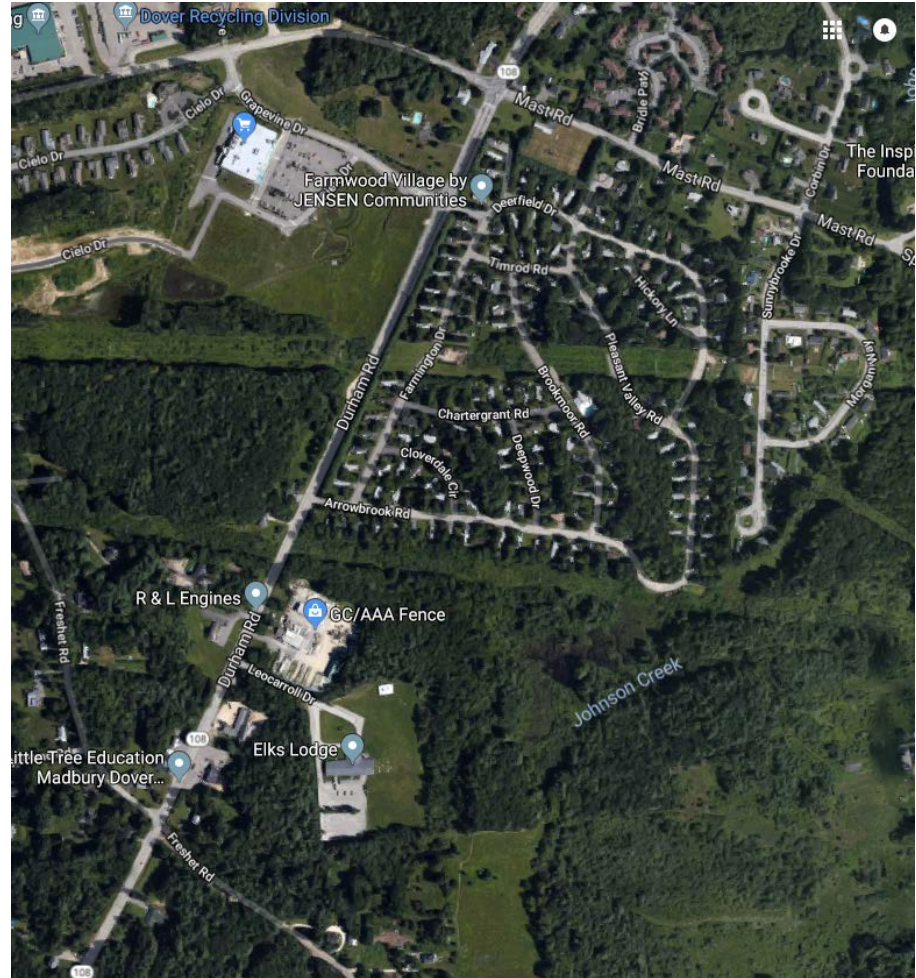
# 108 Recommendations

- Back River to Alumni
  - Area should be rezoned to a low intensity/low turn over commercial use - ETP



# 108 Recommendations

- Mast Road area
  - Review area at the intersection of Route 108 and Mast Road
- Elks/Meserve parcels
  - Explore Industrial rezone



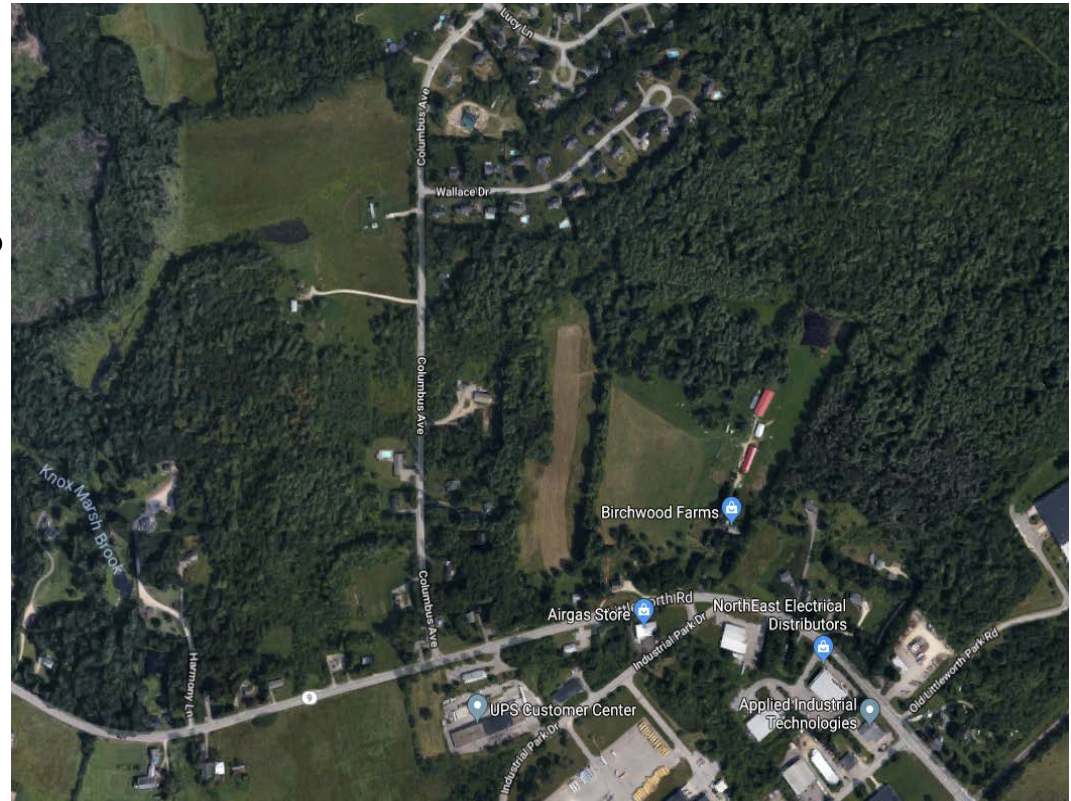
# Route 155 Recommendations

- Amend the existing B-4 districts to allow mixed used, similar to RCM
  - Would need a residential component
  - Create a more of a flexible “context sensitive” model



# Route 9 Recommendations

- The two R-20 districts at or before Columbus Avenue and R-40 after Columbus Avenue:
  - should be considered for non-residential districts



# Major Route Recommendations

- Middle Road
  - Create a mixed use zone similar to RCM for property on Middle and Back Roads



# Major Route Recommendations

- Sixth Street
  - No changes beyond County Farm Road
- Dover Point Road
  - No changes were recommended